



September 5th , 2019

Distribution List

Dear Sir or Madam:

This letter contains notification of an additional address assigned to the parcel known as 819 rue **Bank** St. in the Former Municipality of Ottawa . A map has been provided for ease of reference.

| Municipal Address | Use |
|----------------------------|---------------------|
| 100 av. Fourth Ave. | Commercial Entrance |

If you should require any further information concerning the above, please feel free to contact the undersigned.

Sincerely,

Mo Imrie | Municipal Addressing and Signs Officer
| Building Code Services - Planning and Growth Management
| 101 Centrepointe Drive, 2nd Floor - Nepean, ON K2G 5K7
| 613. 580.2424 Ext. 25015 | Fax 613.580.2583 | MC 04-11

By way of this letter, a notice of these addresses has been sent to the following agencies:

Canada Post Bell Canada

City Services
Municipal Property Assessment Corporation
Water Supply Division
Environmental Services
Ottawa Hydro
Enbridge Gas
Rogers Ottawa Limited

Ottawa Fire Services
Ottawa Police Services
City of Ottawa, Data Centre
Ottawa Paramedic Service
Ottawa School Board
Pathfinder Maps Corporation



KEY PLAN

Project Information: Zoning
 99 Fifth Avenue – Mixed-Use Building (New 7-Storey Residential Element and 2-Storey Existing Commercial Element)
Zoning 2008-250: TM[2506] S387-h – Traditional Mainstreet, Subzone 2506, Schedule 387, subject to a holding zone

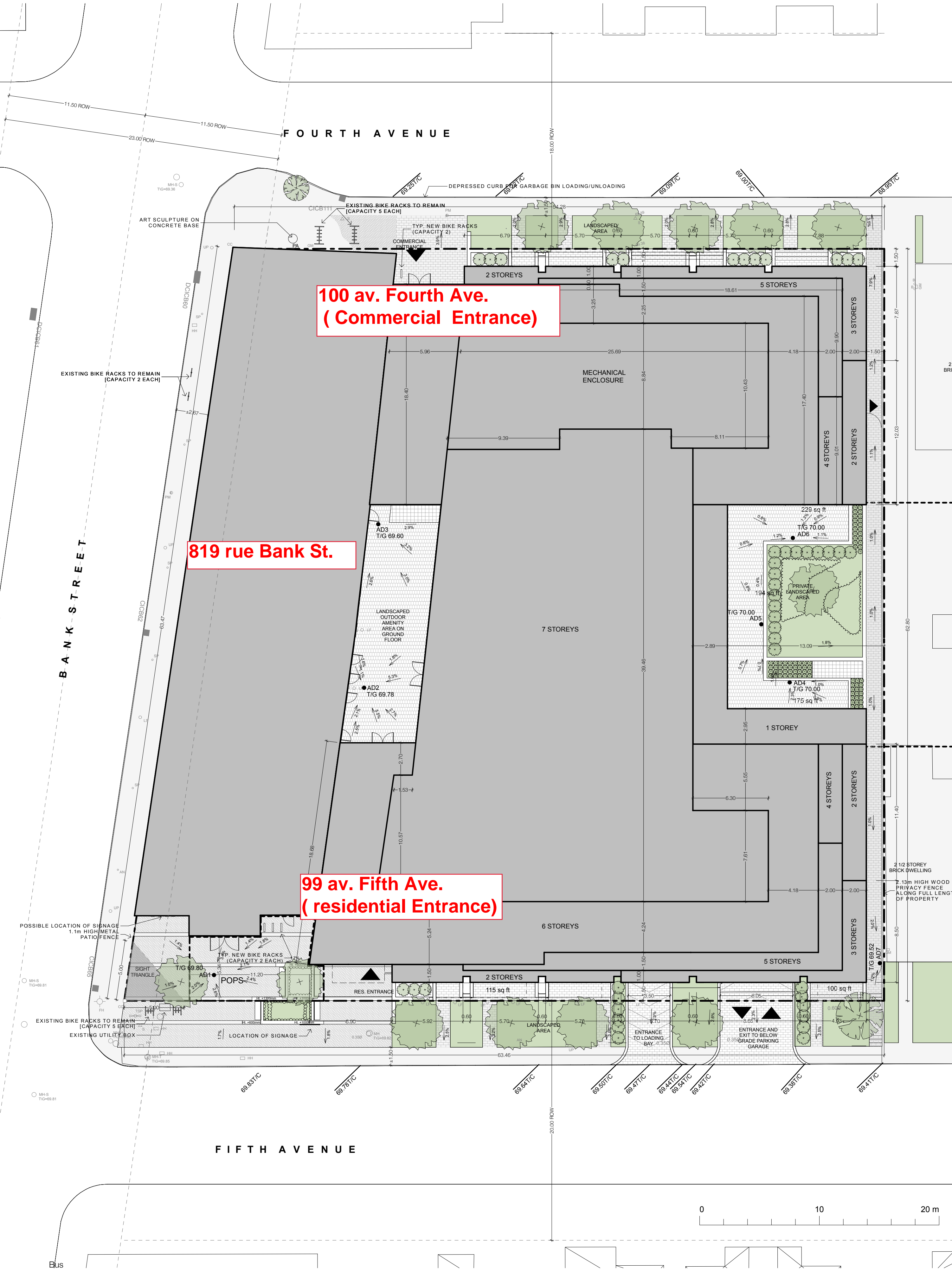
| Zoning Mechanism | Required | Provided |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------|
| Minimum Lot Width | No minimum | 63.47m |
| Minimum Lot Area | No minimum | 3696.6m ² |
| Minimum Front Yard Setback | 0m as per Sch. 387 | 0m |
| Maximum & Minimum Interior Side Yard Setback | n/a (no interior side yards) | n/a |
| Minimum Corner Side Yard setback | 1.5m as per Sch. 387 | North corner side yard setback (Fourth Ave): 1.5m South corner side yard setback (Fifth Ave): 1.5m |
| Minimum Rear Yard Setback | 1.5m to 12.9m as per Sch. 387 | 1.5m to 12.9m |
| Building Height | See Sch. 387 | 22.3m |
| Maximum Floor Space Index | No maximum | Residential FSI - 2.75 Retail FSI - 0.4 Total FSI - 3.15 |
| Maximum total cumulative area of mechanical and service equipment penthouses, and elevator or stairway penthouses that project above height of 22.3m (as per Exception 2506) | 275m ² and may not project beyond a max height of 25m | 251m ² |
| Minimum width of landscaped area | Abutting a residential zone – 3m, may be reduced to 1m where a minimum 1.4m high opaque fence is provided | 1.5m landscaped area provided with 2.13m opaque fence. |
| Amenity Space | Private (terraces and balconies) | none |
| | Communal | 489 m ² communal area (50% of 978 m ²) |
| | Total | 978 m ² total required for a mixed-use building, with 9 or more dwelling units (6m ² x 163 = 978 m ²) |
| Project Information: Parking & Loading | | |
| Area Y: Inner Urban Mainstreets on Schedule 1A, Performance Standard for Mixed-Use Building | Zoning By-law 2008-250 Required | Proposed |
| Minimum number of parking spaces for Dwelling Units in a mixed-use building on lots abutting Bank Street (as per 101, R14) | 76 spaces (0.5 per unit for 163 units, excluding the first 12 units) | 97 |
| Minimum number of parking spaces for Visitors (as per 102) | 11 per site-specific zoning [exception 2506] | 11 |
| Minimum number of parking spaces for Non-Residential Use (as per 101, N79 at rate of 1.25 per 100m ² of GFA and as per 101(4) (d)) | 7 per site-specific zoning [exception 2506] | 7 |
| Minimum Number of spaces to be reserved for physically disabled persons (By-law 2003- 530, Part C) | 2 | 2 |
| Total Vehicular Parking | 94 | 115 |
| Bicycle Parking | Minimum number of parking spaces for Dwelling Units | 82 (0.5x 163 DU = 82) |
| | Minimum number of parking spaces for Non-residential Uses | 0 |
| | Total Bicycle Parking | 82 |
| Loading | Minimum number of loading spaces | 0 as per Section 113(4) |
| | Minimum loading space width and length | 3.5m by 7m |
| Minimum Driveway width | Minimum width of driveway accessing loading space | 3.5m |
| | Minimum Driveway width | 6m for parking lots with 20 or more parking spaces |
| Minimum Aisle width | 6m | 6m |

Municipal Address **99 Fifth Avenue**

| SITE | Site Area | 3,696.6 sm | 39,790 sf |
|----------------------------------|----------------------------------------------|----------------------|-------------------|
| BUILDING HEIGHT | Frontage | Fourth Ave. ± 54.2 m | 177.8 f |
| | | Bank St. ± 63.5 m | 208.3 f |
| | | Fifth Ave. ± 63.5 m | 208.3 f |
| | Established Grade | ± 70.05 m | |
| GROSS FLOOR AREA | Residential GFA | 10,171 sm | 109,483 sf |
| | Existing Commercial to Remain GFA | 1,486 sm | 16,000 sf |
| | Total GFA | 11,658 sm | 125,483 sf |
| FLOOR SPACE INDEX | Residential FSI | 2.75 | |
| | Retail FSI | 0.40 | |
| | Total FSI | 3.15 | |
| UNIT COUNT | unit count | % of total | |
| | Studio | 4 | 2% |
| | 1BD | 115 | 71% |
| | 2BD | 44 | 27% |
| | Total Unit Count | 163 | 100% |
| AMENITY SPACE | Indoor Communal Amenity | 245 | 438 sm |
| | Outdoor Communal Amenity | 245 | 121 sm |
| | Total Communal Amenity | 489 | 559 sm |
| | Outdoor Private Amenity (terraces/balconies) | 489 | 1,482 sm |
| Total Amenity Space | 978 sm | 2,042 sm | |
| PARKING COUNT | Resident Stalls | 76 | 97 |
| | Visitor Stalls | 11 | 11 |
| | 2nd Floor Commercial Stalls | 7 | 7 |
| | Ground Floor Commercial Stalls | 0 | 0 |
| | Total Parking Count | 94 | 115 |
| BICYCLE PARKING | Barrier-free spaces included in total | 2 | 2 |
| | At Grade | 8 | 8 |
| Total Residential Bicycle Spaces | Below Grade | 141 | 141 |
| | Total | 82 | 149 |

* Excluding Mech penthouse

| Developer / Owner / Applicant | Landscape Architecture | Acoustics / Wind |
|---------------------------------------------------------------------------------------|------------------------------------------------------------------|-----------------------------------------------------------------------------|
| Minto Properties Inc. 200 - 180 Kent Street Ottawa, ON K1P 0B6 | FOTENN 223 McLeod Street, Ottawa, K2P 0Z8 | Gradient Wind Engineering Inc. 127 Walgreen Road Ottawa, ON K0A 1L0 |
| Architect | Civil Engineer | Heritage |
| TACT Architecture 660R College Street [Rear Lane] Toronto, ON M6G 1B8 | IBI Group 333 Preston Street, Suite 400 Ottawa, ON K1S 5N4 | MTBA Associates Inc. 112 Nelson Street, Studio 102 Ottawa, ON K1N 7R5 |
| Surveyor | Planning | Environmental |
| Annis O'Sullivan Vollebakk Ltd. 14 Concourse Gate, Suite 500 Ottawa, ON K2E 7S4 | Fotenn 223 McLeod Street, Ottawa, ON K2P 0Z8 | Paterson Group 154 Colonnade Road South Ottawa, ON K2E 7J5 |



LEGEND

- PROPOSED NEW SHRUB. REFER TO LANDSCAPE PLAN FOR DETAILS.
- PROPOSED NEW TREE. REFER TO LANDSCAPE PLAN FOR DETAILS.
- EXISTING TREE TO REMAIN. REFER TO LANDSCAPE PLAN FOR DETAILS.
- BIKE PARKING
- EXISTING FIRE HYDRANT
- EXISTING UTILITY POLE
- EXISTING PARKING METER
- PUBLIC ART

TACT Architecture Inc.
 660R College Street [rear lane]
 Toronto Ontario M6G 1B8
 416-516-1949
 info@tactdesign.ca

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job title
99 Fifth Avenue Ottawa

client
Minto Properties Inc.

sheet title
Site Plan

drawn by
AS/AK

checked by
PJ

issue date
Thursday, April 4, 2019

job number
1716

scale
1:200

