



KEY PLAN

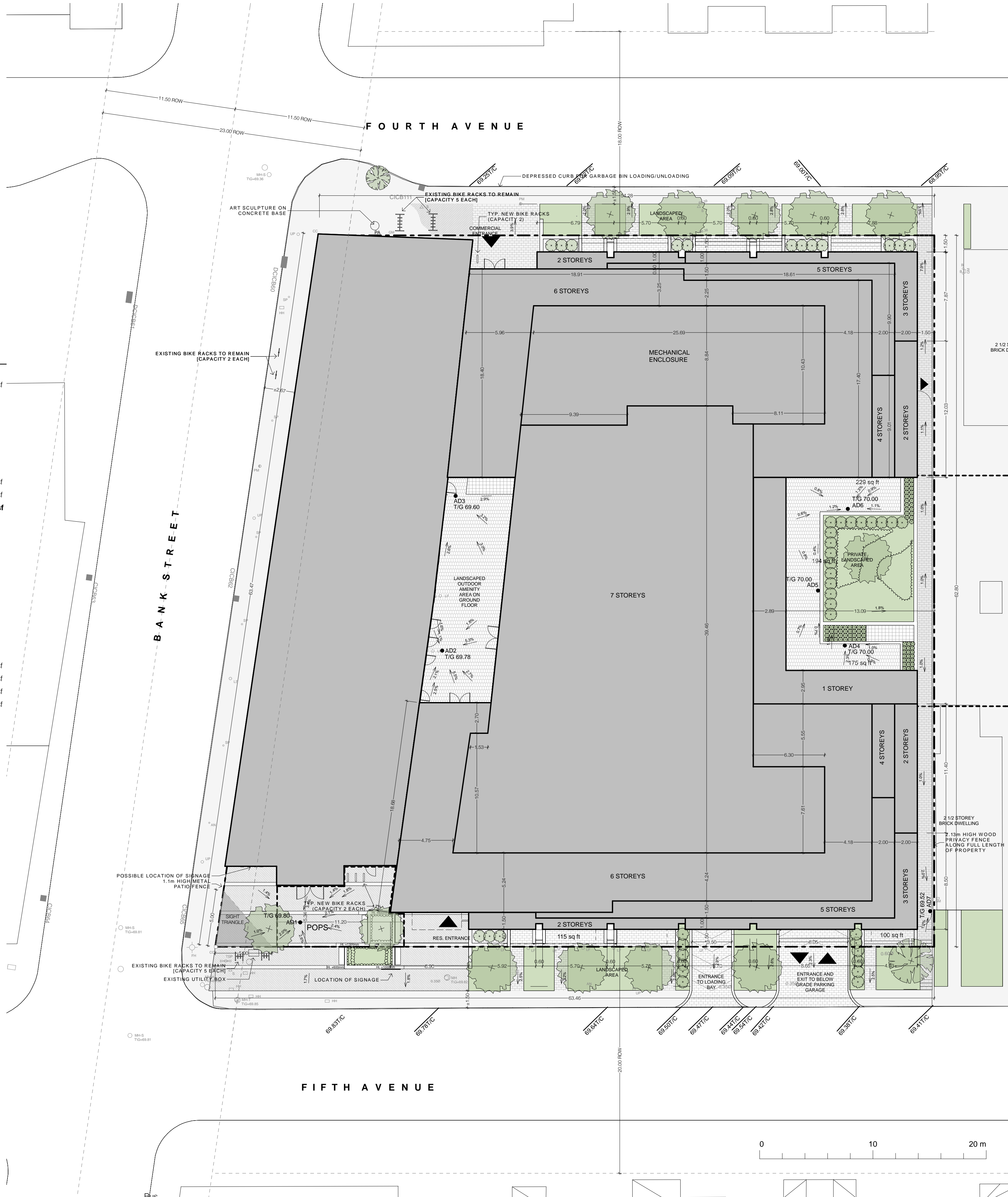
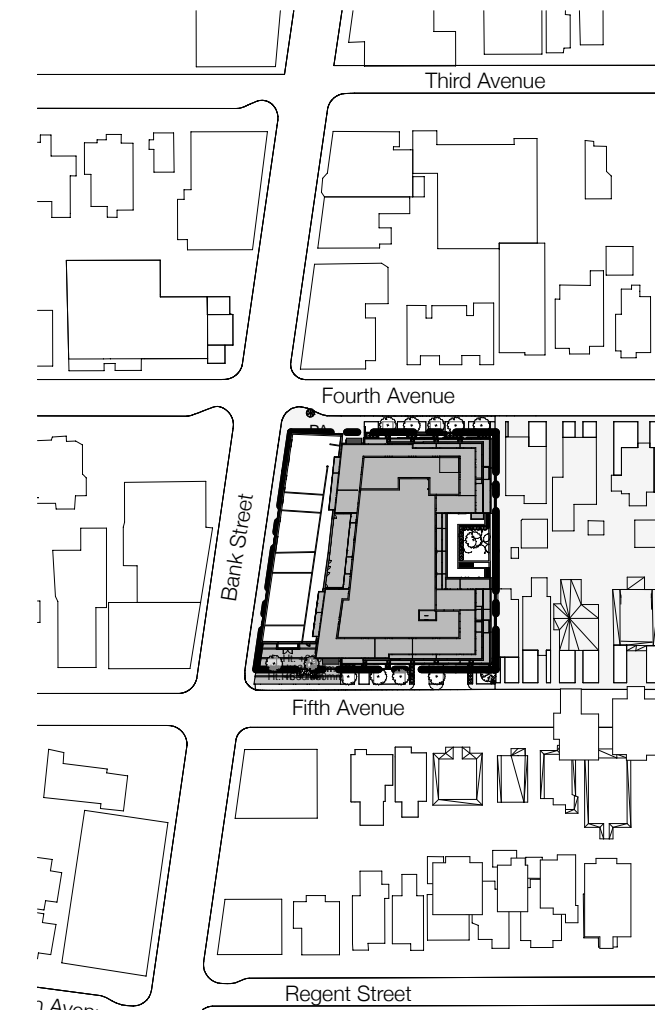
Project Information: Zoning
 99 Fifth Avenue – Mixed-Use Building (New 7-Storey Residential Element and 2-Storey Existing Commercial Element)
 Zoning 208-250: TM[2506] S387-h – Traditional Mainstreet, Subzone 2506, Schedule 387, subject to a holding zone

Zoning Mechanism	Required	Provided
Minimum Lot Width	No minimum	63.47m
Minimum Lot Area	No minimum	3696.6m ²
Minimum Front Yard Setback	0m as per Sch. 387	0m
Maximum & Minimum Interior Side Yard Setback	n/a (no interior side yards)	n/a
Minimum Corner Side Yard setback	1.5m as per Sch. 387	North corner side yard setback (Fourth Ave): 1.5m South corner side yard setback (Fifth Ave): 1.5m
Minimum Rear Yard Setback	1.5m to 12.9m as per Sch. 387	1.5m to 12.9m
Building Height	See Sch. 387	22.3m
Maximum Floor Space Index	No maximum	Residential FSI - 2.75 Retail FSI - 0.4 Total FSI - 3.15
Maximum total cumulative area of mechanical and service equipment penthouses, and elevator or stairway penthouses that project above height of 22.3m (as per Exception 2506)	275m ² and may not project beyond a max height of 25m	251m ²
Minimum width of landscaped area	Abutting a residential zone – 3m, may be reduced to 1m where a minimum 1.4m high opaque fence is provided	1.5m landscaped area provided with 2.13m opaque fence.
Amenity Space	Private (terraces and balconies)	none
	Communal	489 m ² communal area (50% of 978 m ²)
	Total	978 m ² total required for a mixed-use building, with 9 or more dwelling units (6m ² x 163 = 978 m ²)
Project Information: Parking & Loading		
Area Y: Inner Urban Mainstreets on Schedule 1A,	Zoning By-law 2008-250	
Performance Standard for Mixed-Use Building	Required	Proposed
Minimum number of parking spaces for Dwelling Units in a mixed-use building on lots abutting Bank Street (as per 101, R14)	76 spaces (0.5 per unit for 163 units, excluding the first 12 units)	97
Minimum number of parking spaces for Visitors (as per 102)	11 per site-specific zoning [exception 2506]	11
Minimum number of parking spaces for Non-Residential Use (as per 101, N79 at rate of 1.25 per 100m ² of GFA and as per 101(4) (d))	7 per site-specific zoning [exception 2506]	7
Minimum Number of spaces to be reserved for physically disabled persons (By-law 2003- 530, Part C)	2	2
Total Vehicular Parking	94	115
Minimum number of parking spaces for Dwelling Units	82 (0.5x 163 DU = 82)	141 below grade
Minimum number of parking spaces for Non-residential Uses	0	24 (existing) 8 (additional)
Total Bicycle Parking	82	173
Minimum number of loading spaces	0 as per Section 113(4)	1
Loading	Minimum loading space width and length	3.5m by 7m
	Minimum width of driveway accessing loading space	3.5m
Minimum Driveway width	6m for parking lots with 20 or more parking spaces	6m
Minimum Aisle width	6m	6m

Municipal Address 99 Fifth Avenue		Site Area	3,696.6 sm	39,790 sf
SITE	Frontage	Fourth Ave. ±	54.2 m	177.8 f
		Bank St. ±	63.5 m	208.3 f
		Fifth Ave. ±	63.5 m	208.3 f
BUILDING HEIGHT	Established Grade		70.05 m	
	Height		± 22.30 m	
GROSS FLOOR AREA	Residential GFA		10,171 sm	109,483 sf
	Existing Commercial to Remain GFA		1,486 sm	16,000 sf
	Total GFA		11,658 sm	125,483 sf
FLOOR SPACE INDEX	Residential FSI		2.75	
	Retail FSI		0.40	
	Total FSI		3.15	
UNIT COUNT	unit count	% of total		
	Studio	4	2%	
	1BD	115	71%	
	2BD	44	27%	
	Total Unit Count	163	100%	
AMENITY SPACE	Indoor Communal Amenity	245	438 sm	4,717 sf
	Outdoor Communal Amenity	245	121 sm	1,301 sf
	Total Communal Amenity	489	559 sm	6,018 sf
	Outdoor Private Amenity (terraces/balconies)	489	1,482 sm	15,957 sf
	Total Amenity Space	978 sm	2,042 sm	
PARKING COUNT	Resident Stalls	76	97	
	Visitor Stalls	11	11	
	2nd Floor Commercial Stalls	7	7	
	Ground Floor Commercial Stalls		0	
	Total Parking Count	94	115	
	Barrier-free spaces included in total	2	2	
BICYCLE PARKING	At Grade		8	
	Below Grade		141	
	Total Residential Bicycle Spaces	82	149	

* Excluding Mech penthouse

Developer / Owner / Applicant	Landscape Architecture	Acoustics / Wind
Minto Properties Inc. 200 - 180 Kent Street Ottawa, ON K1P 0B6	FOTENN 223 McLeod Street, Ottawa, K2P 0Z8	Gradient Wind Engineering Inc. 127 Walgreen Road Ottawa, ON K0A 1L0
Architect	Civil Engineer	Heritage
TACT Architecture 660R College Street [Rear Lane] Toronto, ON M6G 1B8	IBI Group 333 Preston Street, Suite 400 Ottawa, ON K1S 5N4	MTBA Associates Inc. 112 Nelson Street, Studio 102 Ottawa, ON K1N 7R5
Surveyor	Planning	Environmental
Annis O'Sullivan Vollebakk Ltd. 14 Concourse Gate, Suite 500 Ottawa, ON K2E 7S4	Fotenn 223 McLeod Street, Ottawa, ON K2P 0Z8	Paterson Group 154 Colonnade Road South Ottawa, ON K2E 7J5



LEGEND

- PROPOSED NEW SHRUB. REFER TO LANDSCAPE PLAN FOR DETAILS.
- PROPOSED NEW TREE. REFER TO LANDSCAPE PLAN FOR DETAILS.
- EXISTING TREE TO REMAIN. REFER TO LANDSCAPE PLAN FOR DETAILS.
- BIKE PARKING
- EXISTING FIRE HYDRANT
- EXISTING UTILITY POLE
- EXISTING PARKING METER
- PUBLIC ART

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 660R College Street [rear lane]
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 info@tactdesign.ca

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job title
99 Fifth Avenue Ottawa

client
Minto Properties Inc.

sheet title
Site Plan

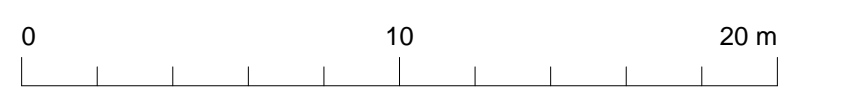
drawn by
AS/AK

checked by
PJ

issue date
Thursday, April 4, 2019

job number
1716

scale
1:200



Revision	YYYYMMDD	Revision	
28.11.2017	ZSA - 1st	28.11.2017	ZSA - 1st
08.05.2018	ZSA - 2nd	05.19.2018	SPA - 1st
01.18.2019	SPA - 2nd	01.18.2019	SPA - 2nd
04.04.2019	SPA - 3rd	04.04.2019	SPA - 3rd



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1

2

Bank and Fifth Avenue - 1
 Fifth Avenue, close up - 2

job title	99 Fifth Avenue Ottawa
client	Minto Properties Inc.
sheet title	Rendering
drawn by	AS/AK
checked by	PJ
issue date	Thursday, April 4, 2019
job number	1716
scale	

Revision	YYYYMMDD	Revision
28.11.2017	ZSA - 1st	ZSA - 1st
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1



2

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Rendering

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Fourth Avenue - 1
 Bank Street - 2

1 Exterior Cladding
 Type: Metal Composite Panel
 Colour: Light Grey
 - Mid Level Floors, as indicated
 in elevations

2 Exterior Cladding
 Type: Metal Composite Panel
 Colour: Dark Grey
 - Top Floor

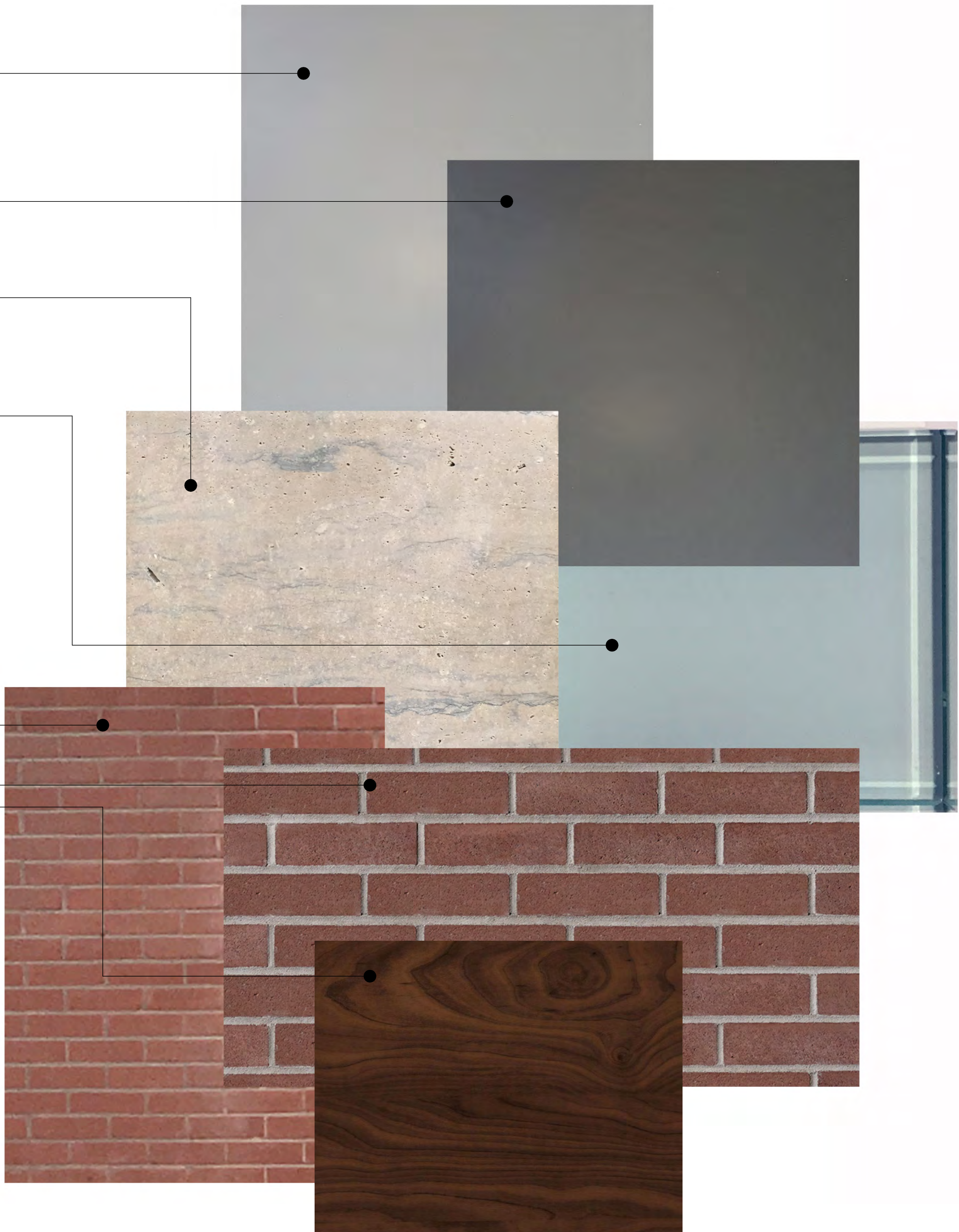
3 Exterior Cladding
 Type: Masonry
 Colour: Warm Grey
 - Mid Level Floors, as indicated
 in elevations

**4 Exterior Cladding -
 Glass Window System**
 Type: TBD.
 Colour: Clear

**5 Red brick - Exterior
 Commercial Cladding**
 Type: Existing

**6 Red brick - Exterior
 Residential Cladding**
 Type: Brick
 Colour - Red / Sepia

7 Exterior Finish
 Type : Veneer
 Colour: Wood pattern
 - Townhouse doors
 - Ground floor accents



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job title
99 Fifth Avenue Ottawa
 client
Minto Properties Inc.
 sheet title
Material Palette
 drawn by
AS/AK checked by
PJ
 issue date
Thursday, April 4, 2019
 job number
1716 scale



general notes / notes générales

DO NOT SCALE DRAWINGS;

THESE NOTES ARE APPLICABLE TO ALL DRAWINGS IN THE SET;

FOTENN CONSULTANTS INC. IS NOT RESPONSIBLE FOR ACCURACY OF BASE INFORMATION;

REFER TO CIVIL ENGINEERING DRAWINGS FOR GRADING & SITE SERVICING INFORMATION;

REFER TO TREE CONSERVATION REPORT FOR TREE PROTECTION INFO.;

THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING EXACT LOCATIONS OF ALL UNDERGROUND SERVICES AND OBTAINING CLEARANCE FROM ALL APPLICABLE UTILITIES. PROPOSED WORKS FOUND TO BE IN CONFLICT WITH UNDERGROUND SERVICES MAY BE ADJUSTED AT THE DIRECTION OF THE LANDSCAPE ARCHITECT;

DO NOT INSTALL TREES ON PROPERTY / LOT LINES OR WITHIN DRAINAGE EASEMENTS;

CONTRACTOR TO SUBMIT SHOP DRAWINGS OF STRUCTURAL SOIL CELL SYSTEM FOR APPROVAL PRIOR TO ORDERING MATERIALS;

PERFORM WORK IN ACCORDANCE WITH DETAILS AND SPECIFICATIONS;

ALL PLANT MATERIAL SHALL BE No. 1 NURSERY STOCK AND SHALL MEET OR EXCEED THE SPECIFICATION OF THE Canadian Standards for Nursery Stock, AS PUBLISHED BY THE Canadian Nursery Landscape Association;

SPECIES SUBSTITUTIONS ARE NOT PERMITTED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.

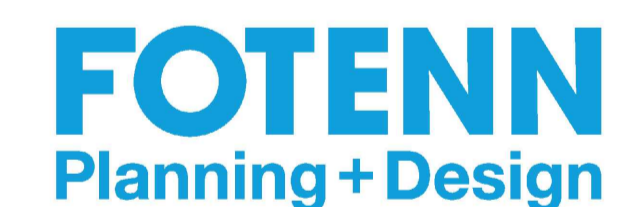
ALL UN-PAVED SURFACES TO RECEIVE 150mm DEPTH TOPSOIL & SOD.

IMPORTANT NOTICE FOR CONTRACTOR:

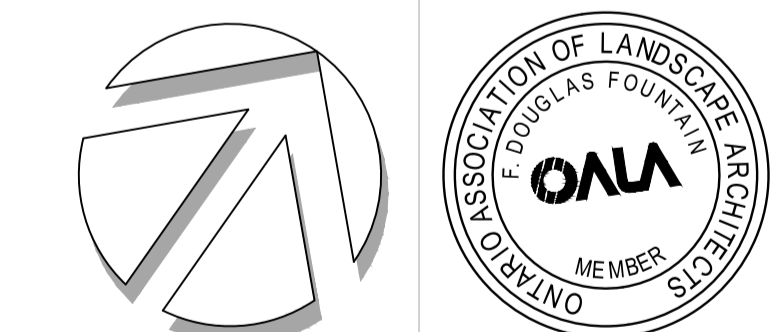
THE CITY OF OTTAWA REQUIRES A Certificate of Completion (F1) Landscape Works to be submitted and sealed by the LANDSCAPE ARCHITECT. CONTRACTORS ARE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE REQUIREMENTS OF THIS PROCESS AND PROVIDING SUFFICIENT NOTICE TO THE LANDSCAPE ARCHITECT TO CONDUCT SITE REVIEWS DURING INSTALLATION OF TREES. THE 1 YEAR WARRANTY PERIOD SHALL NOT COMMENCE UNTIL THE LANDSCAPE ARCHITECT HAS SUBMITTED THE F1 Certificate.

PRIOR TO INSTALLATION OF TREES, THE DEVELOPER WILL CONTACT THE PLANNING AND GROWTH MANAGEMENT AND FORESTRY SERVICES TO REVIEW THE SPECIES AND LOCATION OF TREES.

10	coordinated with revised architecture base plan	04/05/2019
9	coordinated with revised architecture base plan	04/04/2019
8	coordinated with revised architecture base plan	03/28/2019
7	revised per City/UDRP comments (coordinated)	01/17/2019
6	revised per City/UDRP comments (coordinated)	01/16/2019
5	revised per City/UDRP comments	01/15/2019
4	issued for SPA	10/19/2018
3	issued for SPA	10/18/2018
rev'n	description / la description	mm/dd/yyyy



north / le nord stamp / le cachet



project / projet

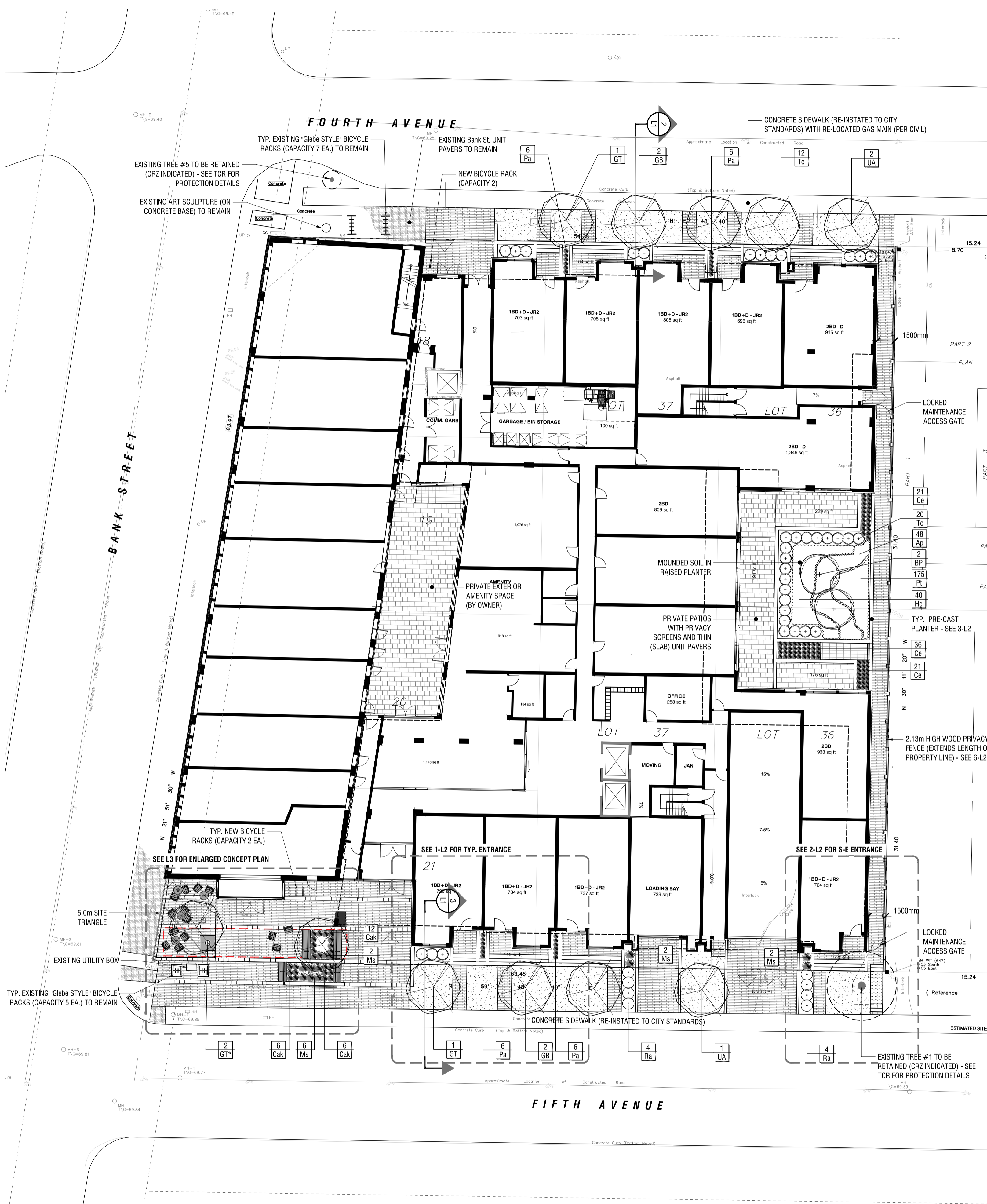
99 Fifth Avenue

drawing / dessin

LANDSCAPE PLAN / SECTION-ELEVATIONS

designed / conçu	drawn / dessiné	reviewed / examiné
DF	DF/SP	DF
date	project number / No. du projet	
July 2018	C 18-87	
drawing number / No. du dessin		

L1 of 3

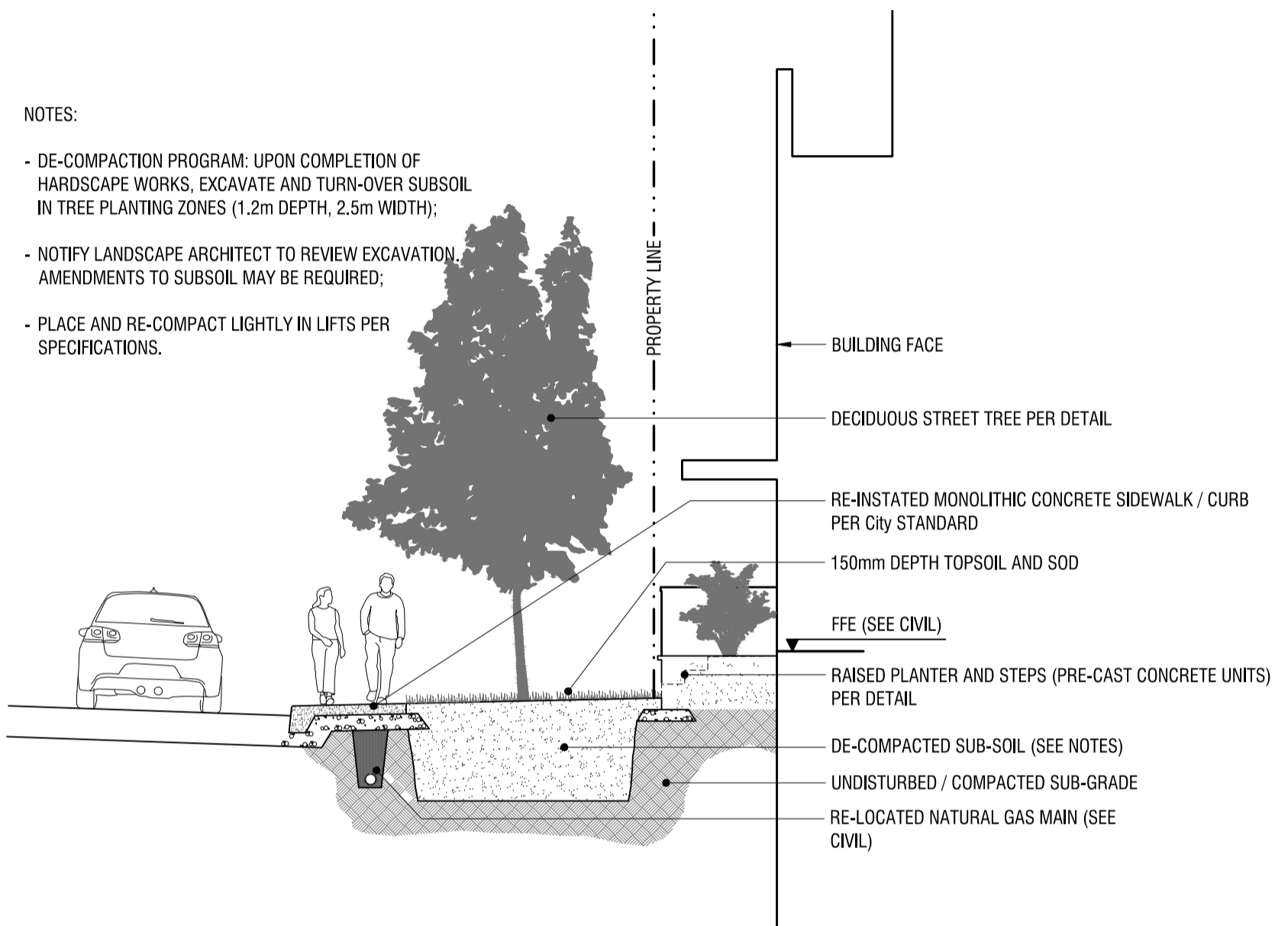


1 LANDSCAPE PLAN
L1 1:200

PLANTING SCHEDULE				
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE / CONDITION / SPACING
DECIDUOUS TREES				
BP	2	Betula papyrifera	Paper Birch	3.0m ht. / W.B., (multi-stem, specimen)
GB	4	Ginkgo biloba	Maidenhair Tree	70mm cal. / W.B.
GT	2	Gleditsia triacanthos var. inermis 'Street Keeper'	Street Keeper Honeylocust	70mm cal. / W.B.
GT*	2	Gleditsia triacanthos 'Shade Master'	Shade Master Honeylocust	90mm cal. / W.B.
UA	3	Ulmus americana 'Liberty'	Liberty Elm	70mm cal. / W.B.
SHRUBS / GRASSES / PERENNIALS				
Ap	48	Adiantum pedatum	Northern Maidenhair Fern	#1 Pot / 60cm o.c.
Cak	24	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	#2 Pot / 50cm o.c.
Ce	78	Carex elata 'Aurea'	Bowes Golden Sedge	#1 Pot / 40cm o.c.
Hg	40	Hosta 'Guacamole'	Guacamole Plantain Lily	#1 Pot / 75cm o.c.
Ms	12	Miscanthus sinensis 'Morning Light'	Variegated Maiden Grass	#2 Pot / 80cm o.c.
Pa	24	Phalaris arundinacea 'Dwarf Garters'	Compact Ribbon Grass	#2 / Pot / 40cm o.c.
Pt	175	Pachysandra terminalis	Japanese Spurge	10cm container / 30cm o.c.
Ra	8	Ribes alpinum	Alpine Currant	#3 Pot
Tc	32	Taxus cuspidata 'Nana'	Dwarf Japanese Yew	#3 Pot

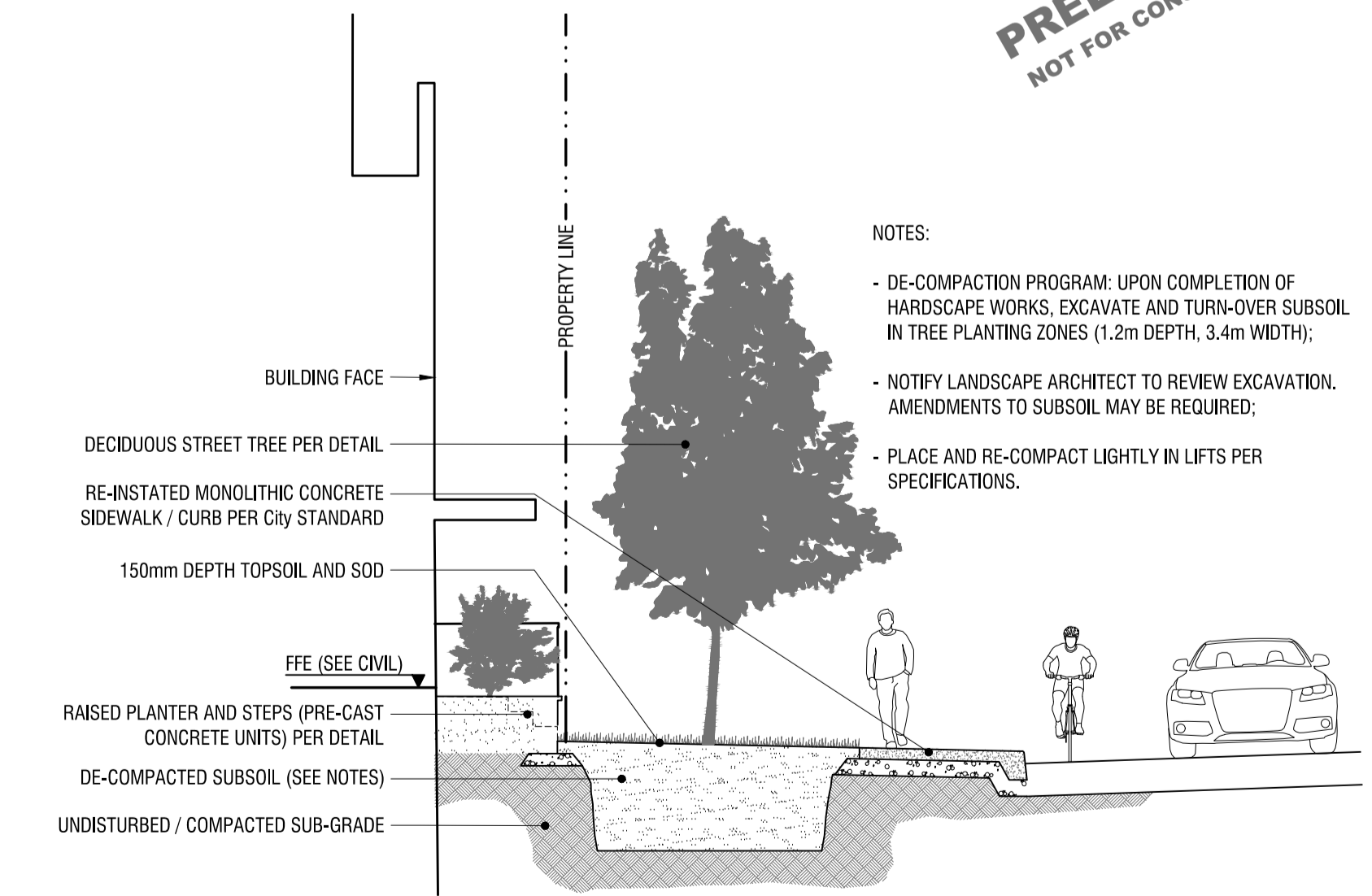
NOTES:

- DE-COMPACTION PROGRAM: UPON COMPLETION OF HARDSCAPE WORKS, EXCAVATE AND TURN-OVER SUBSOIL IN TREE PLANTING ZONES (1.2m DEPTH, 2.5m WIDTH);
- NOTIFY LANDSCAPE ARCHITECT TO REVIEW EXCAVATION. AMENDMENTS TO SUBSOIL MAY BE REQUIRED;
- PLACE AND RE-COMPACT LIGHTLY IN LIFTS PER SPECIFICATIONS.



2 WEST SECTION / ELEVATION AT Fourth Ave.
L1 1:75

PRELIMINARY
 NOT FOR CONSTRUCTION



3 WEST SECTION / ELEVATION AT Fifth Ave.
L1 1:75

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1



2



3



4

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99 Fifth Avenue Ottawa

client
Minto Properties Inc.

sheet title
POPS Renderings

drawn by
AS/AK

checked by
PJ

issue date
Thursday, April 4, 2019

job number
1716

scale

View from Fifth Ave and Bank Street - 1
 View of Residential Lobby Entrance - 3

Aerial view from street corner - 2
 View from Fifth Ave. - 4



Notes:

Traffic control as per Ontario Traffic Manual Book 7

General work to be completed during the period from 07:00 to 23:00 (16 hours) per City of Ottawa Noise by-law (No. 2017-255)

Work affecting traffic will be completed during off peak hours (09:00-15:00)

Parking temporarily removed on the South side of Fourth Avenue, a total of 6 parking spots. Contractor to contact City to have parking meters bagged

Truck Route:

- Eastbound on Fourth Avenue
- Southbound on O'Connor
- Westbound on Fifth Avenue

Work Area	Proposed Laydown Area
Direction of Vehicle Traffic	Crane Base
Loading Zones	Steel Fence
	Jersey Barrier

99 Fifth Avenue -Traffic Control Plan

Minto Communities
- Canada

Draft: March 29, 2019

CONSTRUCTION MILESTONES

1. PRELIMINARY SITE WORK: **APRIL 2019 - SEPTEMBER 2019**
2. DEMOLITION START: **SEPTEMBER 2019**
3. SUPERSTRUCTURE COMPLETE: **SEPTEMBER 2020**
4. BUILDING ENVELOPE ENCLOSED/ WATERTIGHT: **NOVEMBER 2020**
5. FIRST OCCUPANCY: **MARCH 2021**
6. SUBSTANTIAL COMPLETION: **JUNE 2021**

